

HISTORIC AND DESIGN REVIEW COMMISSION

June 15, 2022

HDRC CASE NO: 2022-321
ADDRESS: 1025 DAWSON ST
LEGAL DESCRIPTION: NCB 2872 BLK N LOT 6
ZONING: R-6, H
CITY COUNCIL DIST.: 2
DISTRICT: Dignowity Hill Historic District
APPLICANT: Chris Waful & Lauren Berk
OWNER: Chris Waful & Lauren Berk
TYPE OF WORK: Historic Tax Certification & Verification
APPLICATION RECEIVED: June 03, 2022
60-DAY REVIEW: Not applicable Due to City Council Emergency Orders
CASE MANAGER: Rachel Rettaliata

REQUEST:

The applicant is requesting Historic Tax Certification & Verification for the property at 1025 Dawson.

APPLICABLE CITATIONS:

UDC Section 35-618. Tax Exemption Qualification.

(d) Certification.

(1) Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.

UDC Section 35-618 Tax Exemption Qualifications:

(e) *Verification of Completion.* Upon completion of the restoration and rehabilitation, together with a fee as specified in Appendix "C" of this chapter, the owner, who may not be the same as at the time of application, shall submit a sworn statement of completion acknowledging that the historically significant site in need of tax relief to encourage preservation has been substantially rehabilitated or restored as certified by the historic and design review commission. The historic and design review commission, upon receipt of the sworn statement of completion, but no later than thirty (30) days thereafter, shall make an investigation of the property and shall recommend either approval or disapproval of the fact that the property has been substantially completed as required for certification. If the historic and design review commission recommends that it has not been substantially completed as so required, then the certified applicant may be required by the historic preservation officer to complete the restoration or rehabilitation in order to secure the tax exemption provided herein. If the verification of completion is favorable, the historic and design review commission shall recommend approval and the historic preservation office may notify the tax assessor-collector in writing of compliance. Thereafter, the tax assessor-collector shall provide the property with the historic tax exemption.

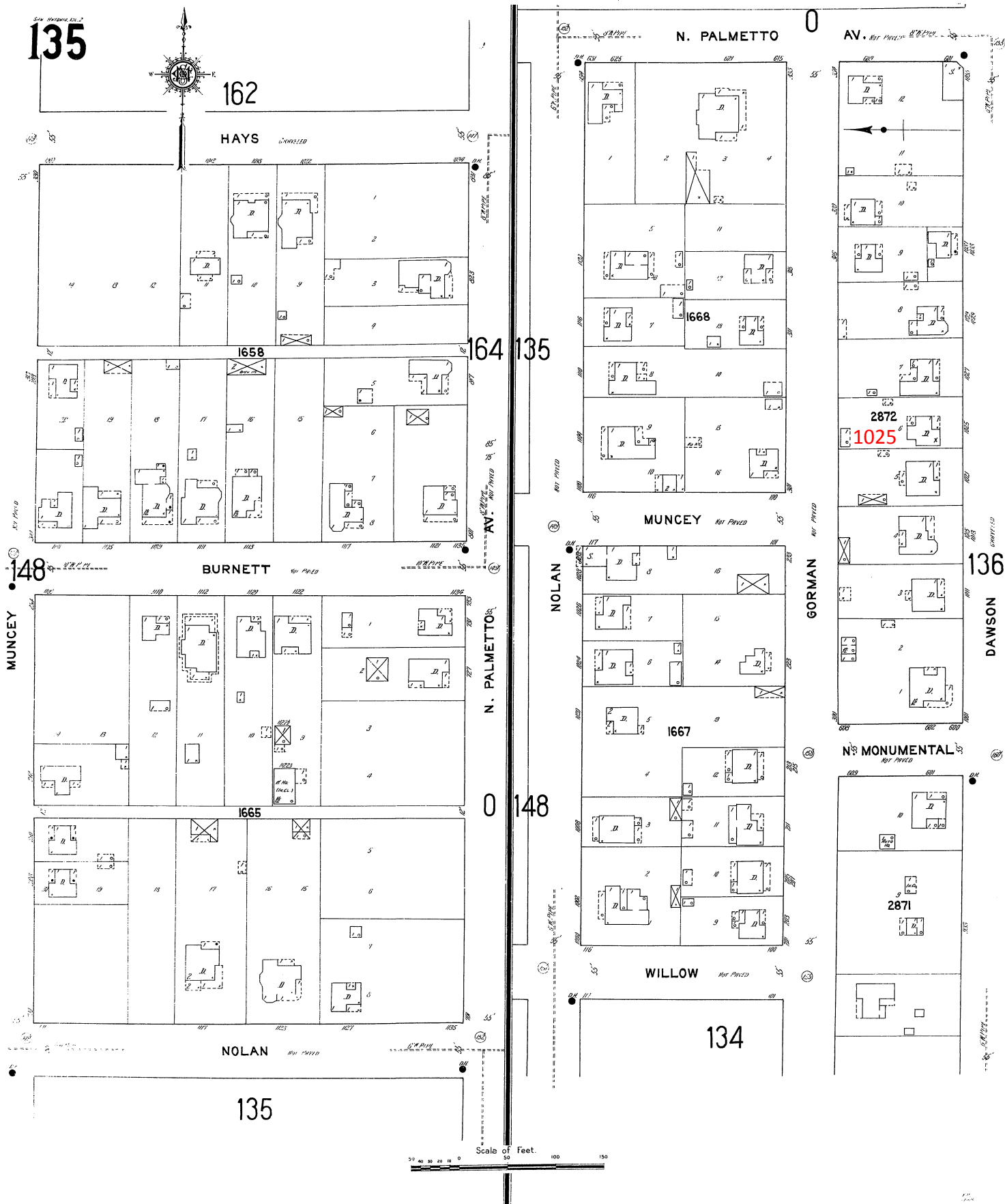
FINDINGS:

- a. The primary structure located at 1025 Dawson was constructed circa 1910 in the Craftsman style. The property first appears on the 1912 Sanborn Maps. The structure features a composition shingle hip roof with exposed rafter tails, a deep-set front porch with metal post supports on a brick base, brick, wood, and shingle cladding, and one-over-one wood windows. The property is contributing to the Dignowity Hill Historic District. The applicant is requesting Historic Tax Certification and Historic Tax Verification.
- b. The scope of work includes a comprehensive interior remodel, plumbing, mechanical, and electrical upgrades, concrete porch leveling and repainting, and privacy fence installation.

- c. The applicant has met all the requirements for Historic Tax Certification outlined in UDC Section 35-618 and has provided evidence to that effect to the Historic Preservation Officer.
- d. Staff conducted a site visit on June 8, 2022, to examine the conditions of the property. Staff verifies that all work used to qualify for the Substantial Rehabilitation Tax Incentive has been completed and that there are no existing violations on the property.
- e. The applicant has met all requirements of the City's tax verification process as described in Section 35-618 of the UDC and has furnished evidence to that effect to the Historic Preservation Officer, including the submission of an itemized list of costs that meets the threshold to be eligible for the Substantial Rehabilitation Tax Incentive.
- f. Approval of Tax Verification by the HDRC in 2022 means that the property owner will be eligible for the Substantial Rehabilitation Tax Incentive beginning in 2023. The Substantial Rehabilitation Tax Incentive applies to the City of San Antonio tax entity line only.

RECOMMENDATION:

Staff recommends approval based on findings a through f.



162

HAYS *GRAYLED*

1658

BURNETT

16

NOLAN

135

N. PALMETTO

223

AV. NOT PAVED ~~8th & 9th~~ ~~10th & 11th~~

MUNCEY

NOLAN

GORMA.94

136

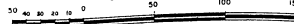
DAWSON

N. MONUMENTAL

WILLOW

134

Scale of Feet.



1025 Dawson Flip Timeline

Property purchased October 2018 at that time the roof and foundation had just been finished.

GC was hired and work began November 2018.

Trash removal and demo was started immediately. This included the demo of master bathroom to change layout.

- November/December 2018
 - Fixing the studs to ensure straight walls from living room to kitchen.
 - Windows were updated w new weights.
- January/February 2019
 - Redo of electrical and plumbing.
- March/April 2019
 - Fence was put in during the ongoing indoor work March/April.
 - Sheet Rock, Doors,
- May 2019
 - Bamboo Flooring installed
 - Kitchen/bathroom cabinets installed.
 - Tiles were installed throughout laundry, bathrooms including surroundings.
- June 2019
 - New hot water heater.
 - Interior painting; exterior fix, stucco and painting.
 - Original HVAC was installed end of June.
 - Water Sewer Pipe to street was tested w camera at same time.
- July/August 2019
 - Deck was installed
 - .
- September 2019
 - House underwent final punch list and listed for sale.

2020 Covid – 2021

House remained on the market, we suffered loss of 2 HVAC units prior to being under contract as well as loss of Stove, Wine Fridge and other staging items while the house was under contract.

Historic Rehab App- Explanation of completed work for 1025 Dawson

On the exterior of 1025 Dawson, the concrete front porch was leveled and painted. The exterior siding and trim was fixed where needed and the entire exterior of the home was painted. A treated pine fence was installed around the perimeter, excluding the streetside facing Dawson.

For the interior, a total renovation was completed including: re-plumbing for the bathrooms and kitchen; re-wiring the electricity throughout the home including a new panel, new plugs, and switches; re-drywall and interior paint; new laminate flooring installed.

1025 Dawson St

San Antonio Texas 78202

Contractor signed bid:

1300 - Demolition All Demolition required interior and exterior to perform the work,

Includes trash disposal

Concrete work Make front porch level (includes labor and material)

3150 - Miscellaneous lumber Install LVL (Labor and material)

3210 - Framing labor—draw #1 Fix /frame walls where is needed and
install doors

3400 - Exterior siding Close match (required by city) siding and
trim outside

Mechanical Service 4 Tons

3720 - Plumbing—rough Estimate only, we need out trade partners
to inspect for final price for 2 bathroom and kitchen

3810 - Electrical—rough complete rewire new panel, new plugs and
switch thorough the house

4400 - Insulation Attic Insulation and where the walls

Required

4500 - Fireplaces Labor and material to repair facing of
fireplace, flute not included

4600 - Painting—exterior labor and material 2 colors

5100 - Drywall Fix all drywall texture throughout house
(labor and material)

5300 - Painting—interior labor and material 2 colors

5510 - Ceramic tile Tile install in both bathrooms: floors and
showers and preparation of showers including hardy board

5520 - Special flooring Laminate flooring and installation, and
Leveling

5610 - Hardware Pending selections for door knobs and
general hardware

6100 - Clean-up Clean inside and outside

6450 - Decks 12 x 12 composite deck (use customer material)

6490 - Fences Treated Pine fence for whole perimeter

Change Orders

2054268 Flooring Upgrade

2110651 Granite Slab

2110684 Plumbing shower valves

2110693 Hardware install

2110685 Doors McCoys

2110686 McCoys 2757839 interior trim material

2110687 Baseboard Install

2110688 Shower glass Master Bath

2110689 McCoy Invoice 2769238 addl lumber

2110692 Cabinet install and set up

2110690 Counter Fabrication and Installation

2110691 Wood for under house for framing

Contract and Change Orders Total _____ **\$:**

Items included in the purchase of 1025 Dawson Pre-Flip

Kitchen cabinets (custom) _____ \$

Stove/Hood

Wine Cooler

Microwave

Composite Deck Material _____

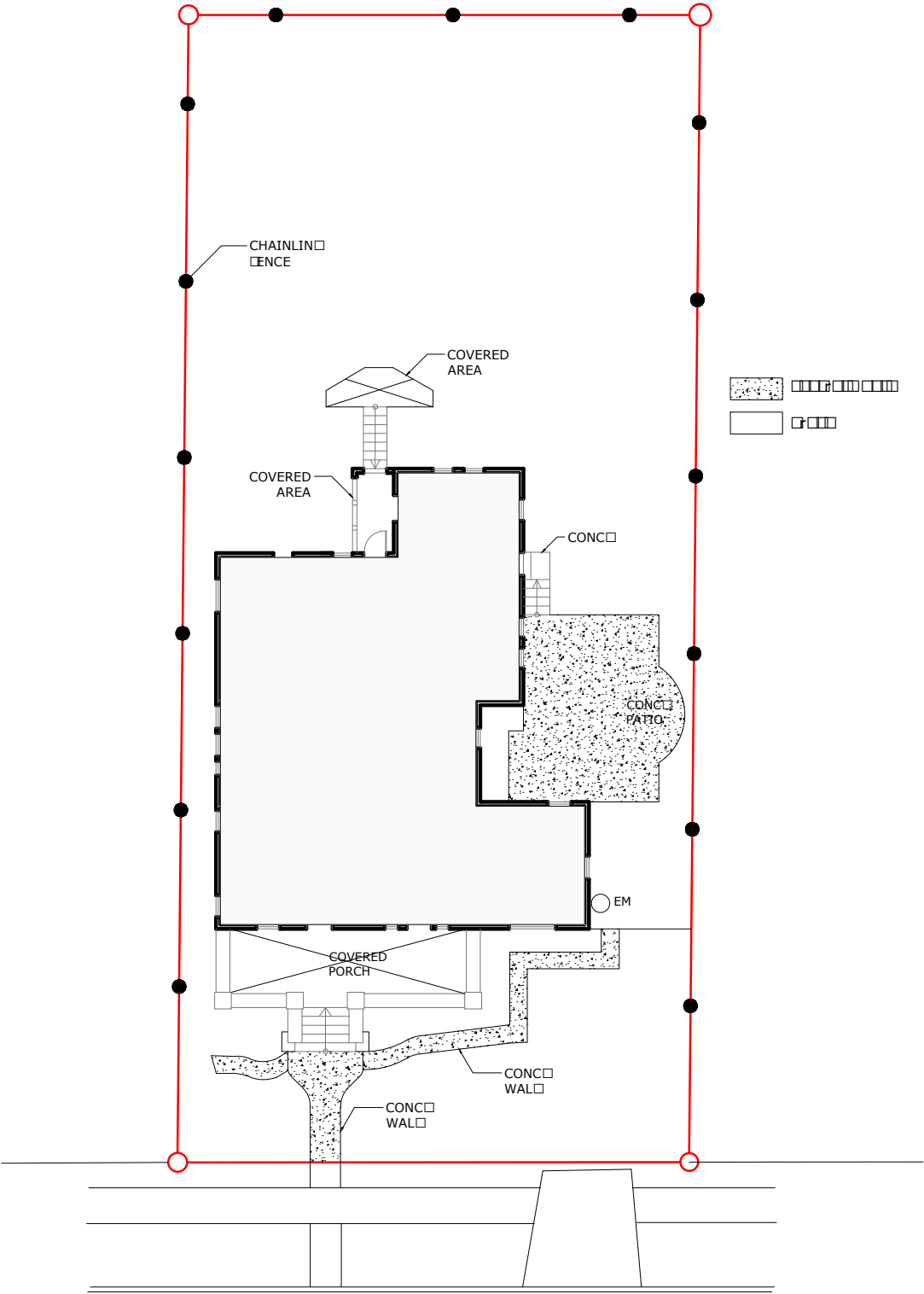




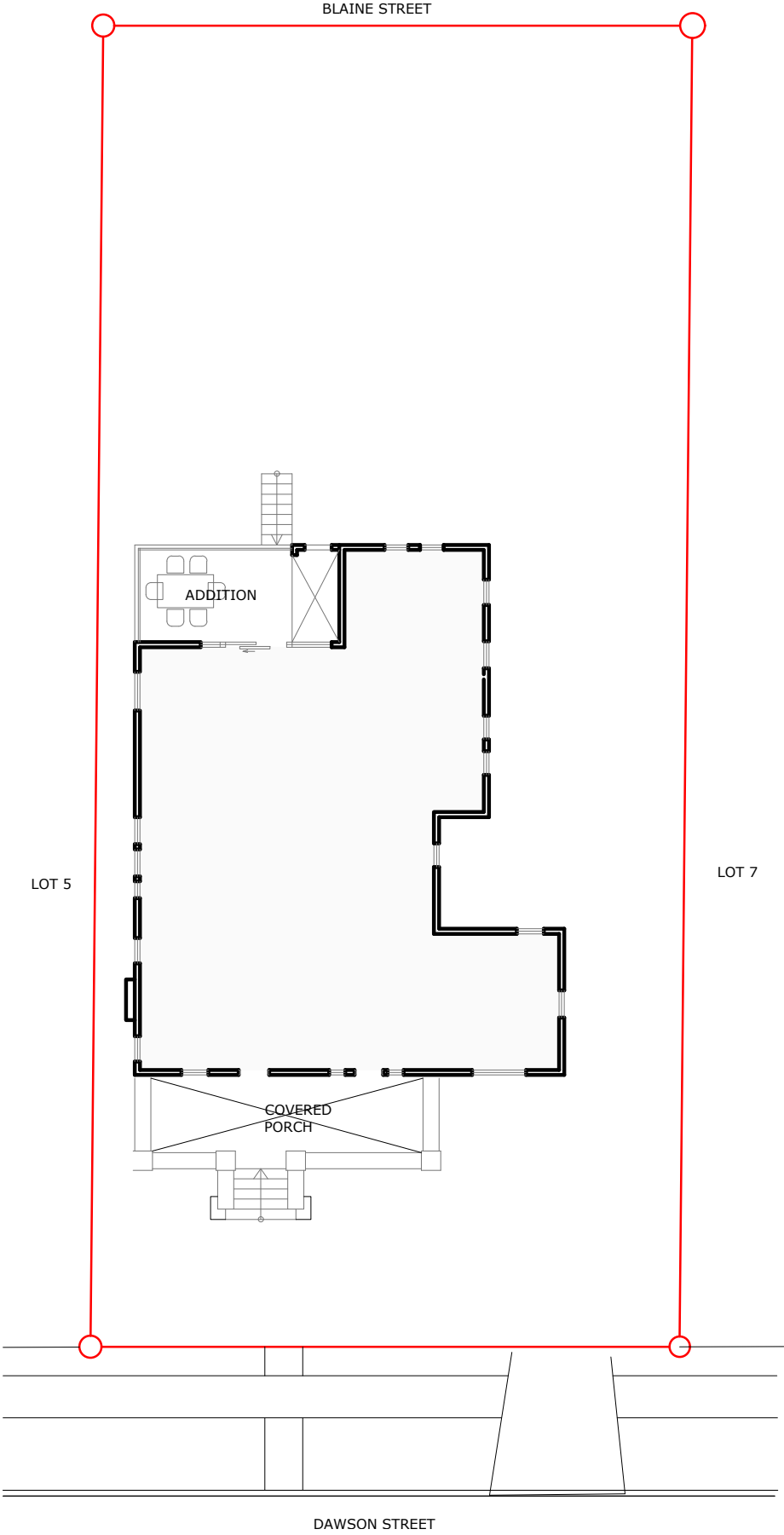








REAR ADDITION NOT PROPOSED



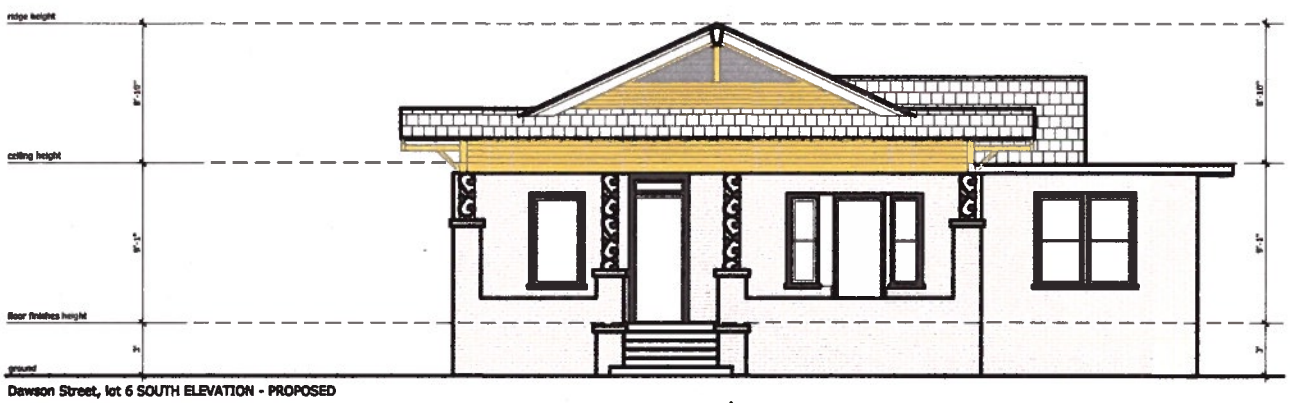
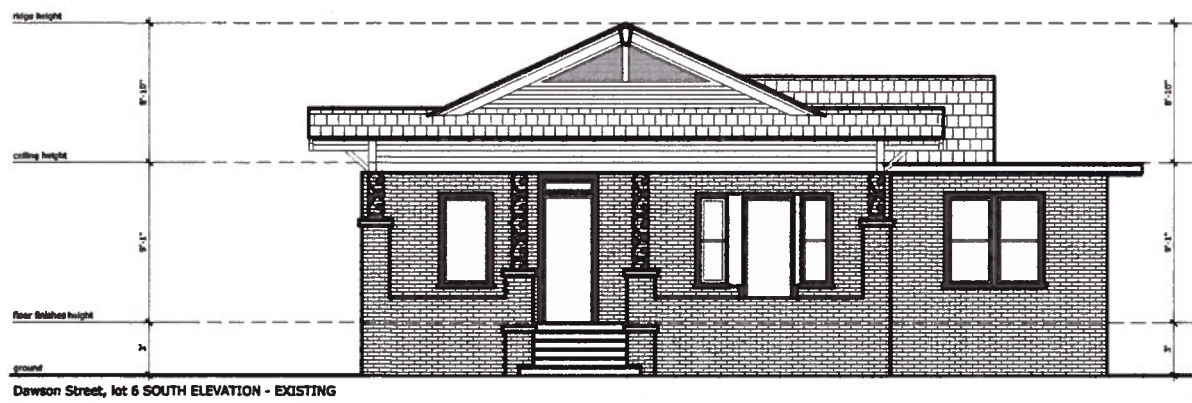
1025 Dawson Front + Back Views

2017 MAY 12 PM 3:49

Existing

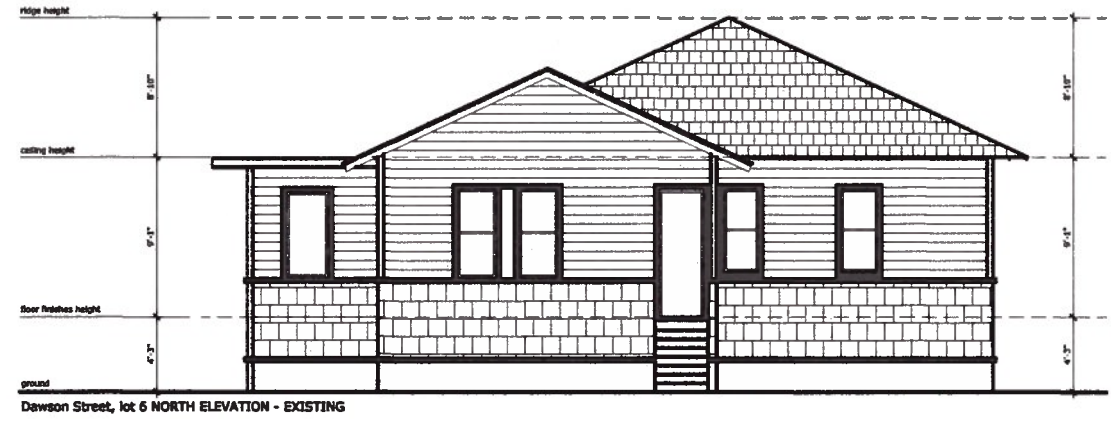
Proposed

Front



No Change

Back



Remove window

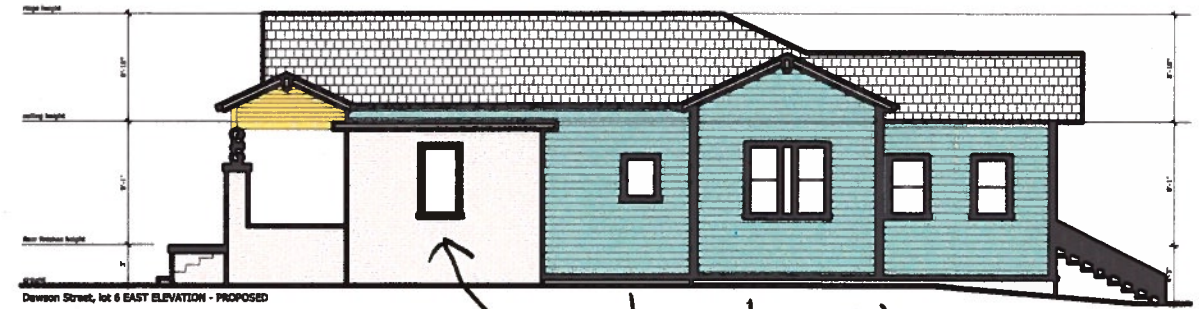
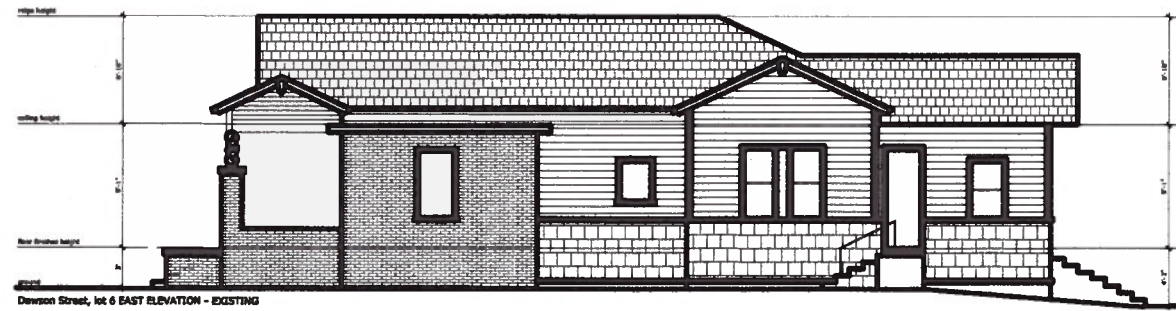
Remove door + window + replace with sliding door

1025 Dawson Side Elevations

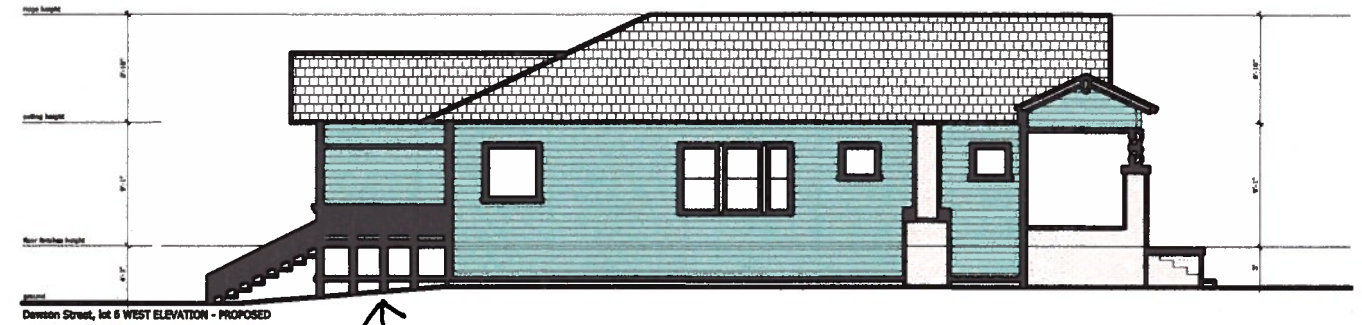
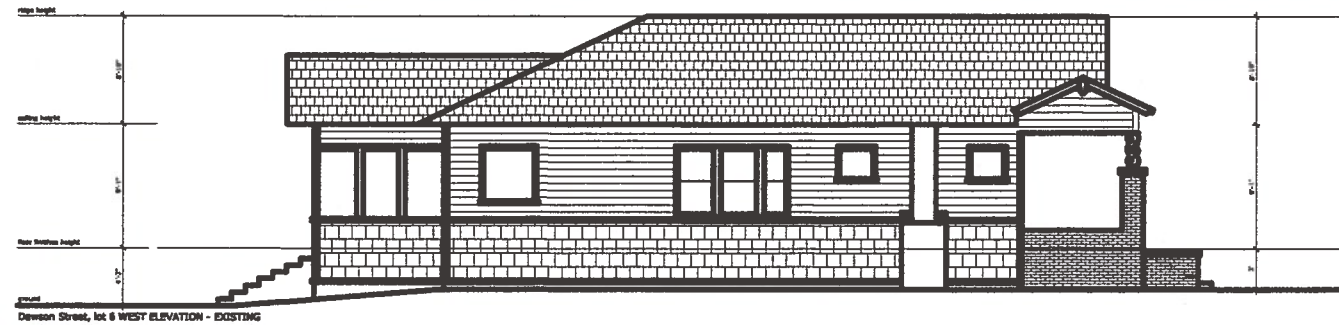
Existing

Proposed

Right



Left





BEWARE
of DOG



















SWMD
SOLID WASTE
MANAGEMENT

16-055011